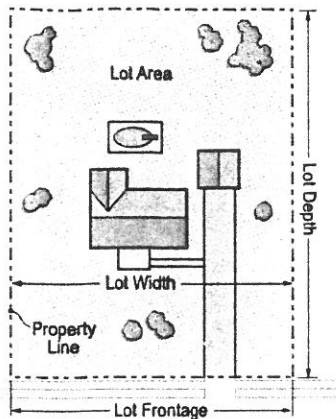
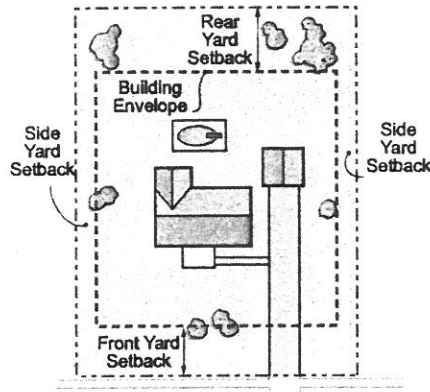


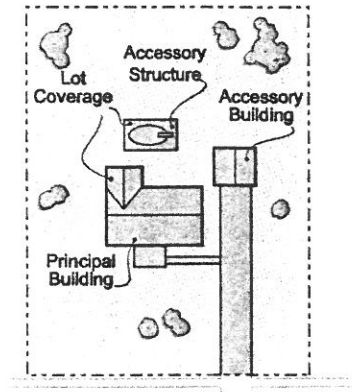
2.04 R1A (Single-Family Residential) District Development Standards



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Minimum Lot Area:

- 20,000 sq ft per unit

Minimum Open Space:

- 40%

Maximum Lot Coverage:

- 30%

Minimum Front Yard Setback:

- average of homes within 200 feet, if no homes within 200 feet, then 25 feet

Minimum Rear Yard Setback:

- 30 feet

Minimum Combined Front and Rear Setback:

- 55 feet

Minimum Side Yard Setback:

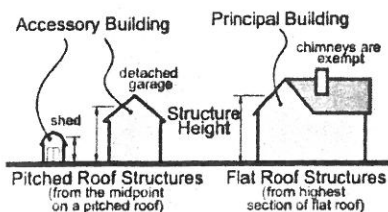
- 9 feet or 10% of total lot width whichever is larger for one side yard
- 14 feet or 25% of total lot width whichever is larger for both side yards
- no side yard shall be less than 5 feet

Minimum Floor Area Per Unit:

- 1,500 sq ft

Maximum Total Floor Area:

- n/a



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Maximum Building Height:

- Lots > 9,000 sq. ft. in Area:
30 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; 24 feet for eaves.
- Lots < 9,000 sq. ft. in Area:
28 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; 24 feet for eaves.

Additional Development Standards that Apply

Accessory Structure (AS)

- AS-01..... Page 04-3
- AS-02..... Page 04-3

Drainage (DN)

- DN-01..... Page 04-6

Essential Services (ES)

- ES-01..... Page 04-7

Fences (FN)

- FN-01..... Page 04-8

Floodplain (FP)

- FP-01..... Page 04-9
- FP-02..... Page 04-11

Height (HT)

- HT-01..... Page 04-12

Loading (LD)

- LD-01..... Page 04-19

Lot (LO)

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Open Space (OS)

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- OS-02..... Page 04-22

Parking (PK)

- PK-01..... Page 04-27
- PK-02..... Page 04-29

Screening (SC)

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Setback (SB)

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- SB-02..... Page 04-36

Storage and Display (SD)

- SD-01..... Page 04-37

Structure (SS)

- SS-01..... Page 04-39
- SS-02..... Page 04-39

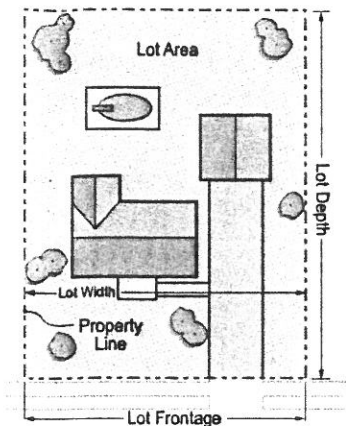
Temporary Use (TU)

- TU-01..... Page 04-42
- TU-03..... Page 04-43

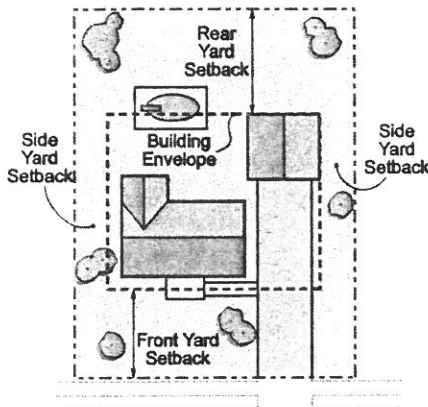
Vision Clearance (VC)

- VC-01..... Page 04-44

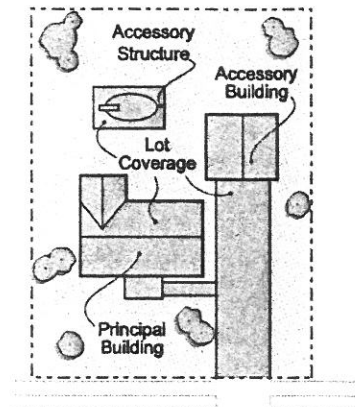
2.06 R1 (Single-Family Residential) District Development Standards



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Minimum Lot size:

- 9,000 sq ft per unit

Minimum Open Space:

- 40%

Maximum Lot Coverage:

- 30%

Minimum Front Yard Setback:

- average of homes within 200 feet, if no homes within 200 feet, then 25 feet

Minimum Rear Yard Setback:

- 30 feet

Minimum Combined Front and Rear Setback:

- 55 feet

Minimum Side Yard Setback:

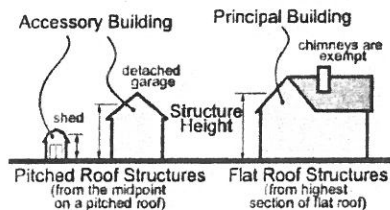
- 9 feet or 10% of total lot width whichever is larger for one side yard
- 14 feet or 25% of total lot width whichever is larger for both side yards
- no side yard shall be less than 5 feet

Minimum Floor Area Per Unit:

- 1,500 sq ft

Maximum Total Floor Area:

- n/a



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Maximum Building Height:

- Lots > 9,000 sq. ft. in Area:
30 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; 24 feet for eaves.
- Lots < 9,000 sq. ft. in Area:
28 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; 24 feet for eaves.

Additional Development Standards that Apply

Accessory Structure (AS)

- AS-01..... Page 04-3
- AS-02..... Page 04-3

Drainage (DN)

- DN-01..... Page 04-6

Essential Services (ES)

- ES-01..... Page 04-7

Fences (FN)

- FN-01..... Page 04-8
- FN-02..... Page 04-8

Floodplain (FP)

- FP-01..... Page 04-9
- FP-02..... Page 04-11

Height (HT)

- HT-01..... Page 04-12

Loading (LD)

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Lot (LO)

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Open Space (OS)

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Parking (PK)

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Screening (SC)

- SC-01..... Page 04-33

Setback (SB)

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- SB-02..... Page 04-36

Storage and Display (SD)

- SD-01..... Page 04-37

Structure (SS)

- SS-01..... Page 04-39
- SS-02..... Page 04-39

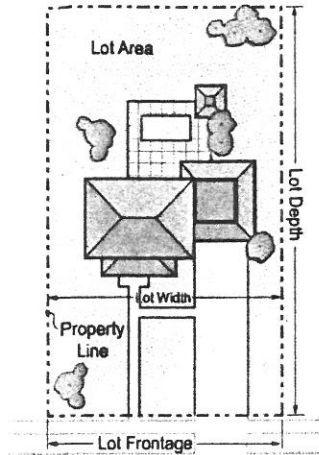
Temporary Use (TU)

- TU-01..... Page 04-42
- TU-03..... Page 04-43

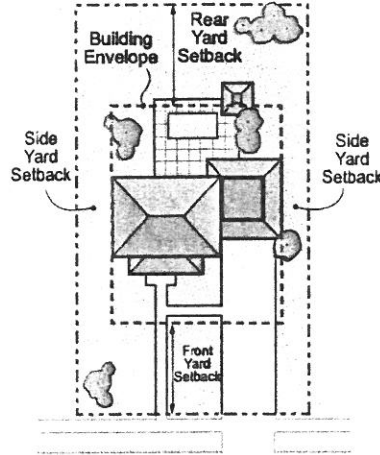
Vision Clearance (VC)

- VC-01..... Page 04-44

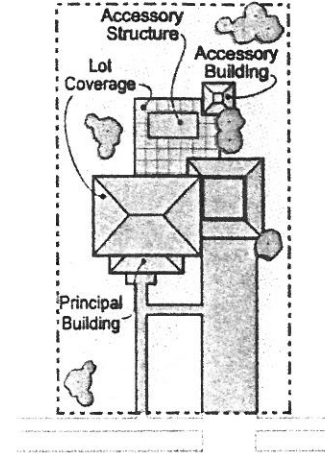
2.08 R2 (Single-Family Residential) District Development Standards



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Minimum Lot Area:

- 6,000 sq ft per unit

Minimum Open Space:

- 40%

Maximum Lot Coverage:

- 30%

Minimum Front Yard Setback:

- average of homes within 200 feet, if no homes within 200 feet, then 25 feet

Minimum Rear Yard Setback:

- 30 feet

Minimum Combined Front and Rear Setback:

- 55 feet

Minimum Side Yard Setback:

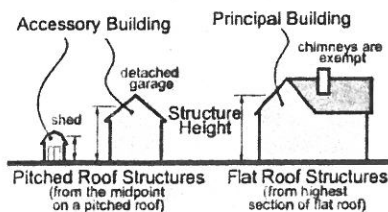
- 9 feet or 10% of total lot width whichever is larger for one side yard
- 14 feet or 25% of total lot width whichever is larger for both side yards
- no side yard shall be less than 5 feet

Minimum Floor Area Per Unit:

- 1,000 sq ft (one story)
- 1,200 sq ft (> one story)

Maximum Total Floor Area:

- n/a



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Maximum Building Height:

- Lots > 9,000 sq. ft. in Area:
30 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; and 24 feet for eaves.
- Lots 6,000 sq. ft. - 9,000 sq. ft. in Area:
28 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; and 24 feet for eaves.
- Lots < 6,000 sq. ft. in Area:
26 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; and 24 feet for eaves.

Additional Development Standards that Apply

Accessory Structure (AS)

- AS-01..... Page 04-3
- AS-02..... Page 04-3

Drainage (DN)

- DN-01..... Page 04-6

Essential Services (ES)

- ES-01..... Page 04-7

Fences (FN)

- FN-01..... Page 04-8
- FN-02..... Page 04-8

Floodplain (FP)

- FP-01..... Page 04-9
- FP-02..... Page 04-11

Height (HT)

- HT-01..... Page 04-12

Loading (LD)

- LD-01..... Page 04-19

Lot (LO)

- LO-01..... Page 04-21

Open Space (OS)

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- OS-02..... Page 04-22

Parking (PK)

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- PK-02..... Page 04-29

Screening (SC)

- SC-01..... Page 04-33

Setback (SB)

- SB-01..... Page 04-36
- SB-02..... Page 04-36

Storage and Display (SD)

- SD-01..... Page 04-37

Structure (SS)

- SS-01..... Page 04-39
- SS-02..... Page 04-39

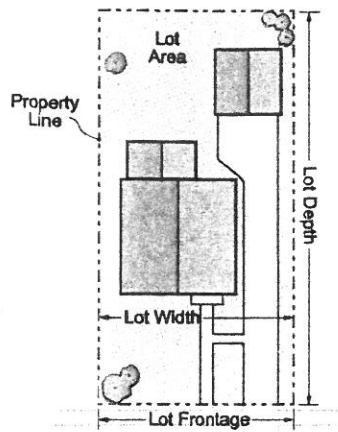
Temporary Use (TU)

- TU-01..... Page 04-42
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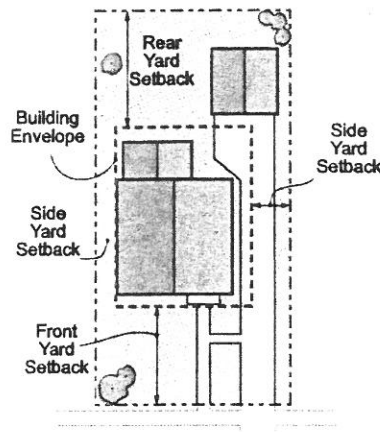
Vision Clearance (VC)

- VC-01..... Page 04-44

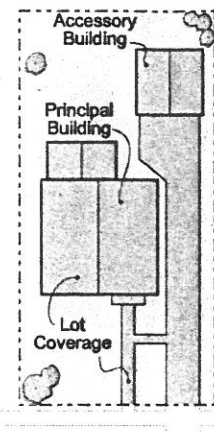
2.10 R3 (Single-Family Residential) District Development Standards



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Minimum Lot Area:

- 4,500 sq ft per unit

Minimum Open Space:

- 40%

Maximum Lot Coverage:

- 30%

Minimum Front Yard Setback:

- average setback of homes within 200 feet, if not homes within 200 feet, then 25 feet

Minimum Rear Yard Setback:

- 30 feet

Minimum Combined Front and Rear Setback:

- 55 feet

Minimum Side Yard Setback:

- 9 feet or 10% of total lot width whichever is larger for one side yard
- 14 feet or 25% of total lot width whichever is larger for both side yards
- no side yard shall be less than 5 feet

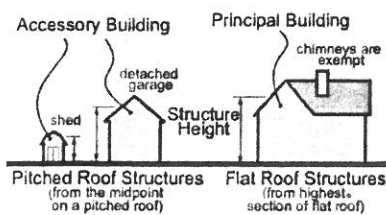
Minimum Floor Area Per Unit:

- 800 sq ft (one story)

- 1,000 sq ft (> one story)

Maximum Total Floor Area:

- n/a



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Maximum Building Height:

- Lots > 6,000 sq. ft. in Area:
28 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; 24 feet for eaves.
- Lots 4,500 sq. ft. - 6,000 sq. ft. in Area:
26 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; 24 feet for eaves.
- Lots < 4,500 sq. ft. in Area:
24 feet to midpoint for sloped roofs; 24 feet for flat roofs only; 2 stories; 24 feet for eaves.

Additional Development Standards that Apply

Accessory Structure (AS)

- AS-01..... Page 04-3
- AS-02..... Page 04-3

Drainage (DN)

- DN-01..... Page 04-6

Essential Services (ES)

- ES-01..... Page 04-7

Fences (FN)

- FN-01..... Page 04-8
- FN-02..... Page 04-8

Floodplain (FP)

- FP-01..... Page 04-9
- FP-02..... Page 04-11

Height (HT)

- HT-01..... Page 04-12

Loading (LD)

- LD-01..... Page 04-19

Lot (LO)

- LO-01..... Page 04-21

Open Space (OS)

- OS-01..... Page 04-22
- OS-02..... Page 04-22

Parking (PK)

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Screening (SC)

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Setback (SB)

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- SB-02..... Page 04-36

Storage and Display (SD)

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Structure (SS)

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- SS-02..... Page 04-39

Temporary Use (TU)

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- TU-03..... Page 04-43

Vision Clearance (VC)

- VC-01..... Page 04-44

4.67 SS-01

This Structure Standards section applies to the following districts:

R1A R1 R2 R3 R4 R5 R6 R7 R8 O1 O2 P B1 B2 B2B B2C B3 B4 MX

The following structure standards apply:

- A. Minimum Floor Area Per Unit: The minimum floor area per unit shall be as per each two-page layout in Article 2.
- B. Maximum Total Floor Area: The maximum total floor area shall be as per each two-page layout in Article 2.
- C. Distance Between Buildings: Each residential lot shall provide a minimum distance between principal residential buildings on adjacent lots of 14 feet or 25% of the total lot width, whichever is larger. This requirement is in addition to the setback provisions as specified in each two-page layout in Article 2.

4.68 SS-02

This Structure Standards section applies to the following districts:

R1A R1 R2 R3

The following structure standards apply:

- A. Private, Attached Single-Family Residential Garages:
 - 1. A private, attached, single-family residential garage shall not occupy more than 50% of the linear building frontage of the principal residential building, and must be setback a minimum of 5 feet from the front facade of a principal residential building.
 - 2. Garage doors on an attached garage which are visible from the street may not exceed 8 feet in width; where there are multiple doors, they must be separated by a solid wall or jamb not less than 8 inches wide.

4.69 SS-03

This Structure Standards section applies to the following districts:

B1 B2B B2C B3 B4

The following structure standard applies:

- A. Residential Uses: One-family and two-family dwelling units shall be permitted provided that the floor area for each dwelling unit does not exceed the total of the floor area used for commercial purposes plus 450 square feet when used for parking within the same building.

4.70 SS-04

This Structure Standards section applies to the following districts:

B2 B2B B2C B3

The following structure standards apply:

- A. Residential Uses:
 - 1. When a building is to be used for commercial and residential occupancy, no dwelling units shall occupy the first story or below the first story. No commercial, office or parking use shall be located on the same story or on a story above a residential use.
 - 2. Every building having commercial and residential uses must provide and maintain separate interior entrances and stairways for the exclusive use of the residential portion of the building.

4.28 OS-01

This Open Space Standards section applies to the following districts:

R1A R1 R2 R3 R4 R5 R6 R7 R8 O1 O2 P B1 B2 B2B B2C B3 B4 MX

The following open space standards apply:

- A. **Minimum Open Space:** The minimum open space shall be as per each two-page layout in Article 2.
- B. **Maximum Lot Coverage:** The maximum lot coverage shall be as per each two-page layout in Article 2.
- C. **Projections into Required Open Space:** Projections into the open spaces required by each two-page layout in Article 2, shall be permitted as follows:
 1. An unenclosed, covered or uncovered, concrete, masonry or wooden porch, deck and/or steps may project into a front open space for a maximum distance of 10 feet. The floor of a porch, deck or top step shall not be higher than the floor of the first story. This provision shall not reduce the required front setback to less than 10 feet. Said porches and decks shall not project into the required side open space, except as provided elsewhere in this Article. Said porches and decks shall be restricted to 1 story in height.
 2. Roof overhangs, cornices, eaves, gutters, lintels, planter boxes, chimneys, bay windows and similar projections may extend or project into a required open space not more than 2 inches for each 1 foot of width of such required open space provided that such extensions may not project more than 2 feet into the front or rear open space, except as provided elsewhere in this Article.
 3. Patios, terraces, porches or decks may not project into the required side open space except that steps leading to an entrance, patio, terrace, porch or deck may project into the required side open space. Such steps shall project not more than 3 inches for each 1 foot width of such required open space up to a maximum of 3 feet. Where the side open space is required by this chapter for parking or driveway purposes, the projection shall not reduce the drivable or usable area for those purposes to less than 7 feet in width.
 4. Basement window wells may project into the required side open space and rear open space a maximum of 3 feet measured to the inside of the well opening. Basement window well structures may not project more than 8 inches above grade, excluding the height of an approved guard rail. Basement window wells that project into the required side open space or rear open space shall not exceed 6 feet in width and must be covered at grade with a suitable covering capable of sustaining the weight of not less than 500 pounds or be enclosed with a guard rail in accordance with the current applicable edition of the Michigan Residential Building Code or the Michigan Building Code.
 5. A porch, deck and/or steps may project into a rear open space for a maximum distance of 15 feet. The floor of said porch, deck or top step shall not be higher than the floor of the first story. This provision shall not reduce the required rear setback to less than 15 feet. Said porches and decks shall not project into the required side open space, except as provided elsewhere in this Article. Said porches and decks shall be restricted to 1 story in height.

4.29 OS-02

This Open Space Standards section applies to the following districts:

R1A R1 R2 R3

The following open space standards apply:

- A. **Paved Surface Limitations:**
 1. A minimum of 65% of the front open space in all single-family districts shall be free of paved surfaces (i.e., concrete, blacktop, gravel, brick or a similar material), excluding building encroachments, uncovered porches, sidewalks 3 feet in width or less, and handicap access ramps.
 2. Motor vehicles are only permitted within the front open space on a paved surface in conformity with the requirements of Chapter 110 of the Birmingham City Code.

4.02 AS-01

This Accessory Structure Standards section applies to the following districts:

R1A R1 R2 R3 R4 R5 R6 R7 R8 O1 O2 P B1 B2 B2B B2C B3 B4

The following accessory structure standard applies:

- A. Occupancy: Residential occupancy of accessory buildings is prohibited.

4.03 AS-02

This Accessory Structure Standards section applies to the following districts:

R1A R1 R2 R3 R4 R5 R6 R7 R8

The following accessory structure standards apply:

- A. Front and Side Open Space Limitations: No accessory buildings or structures shall be erected in the required front open space or side open space, except as may otherwise be provided in this section.
- B. Rear Open Space Limitations: Accessory buildings or structures may occupy a portion of the rear open space. They shall be at least 3 feet from any lot line, except as otherwise provided in this Article. If a lot has frontage on 2 streets so that the rear lot line abuts the street, accessory buildings or structures shall be set back from the rear lot line the same distance required in each two-page layout in Article 2, as a front setback for lots fronting on the street. An accessory building is not permitted closer to a principal building on an adjoining lot than the sum of the minimum required side setbacks as determined in Section 4.67(C).
- C. Corner Lots: On corner lots where a rear open space abuts a front or side open space, accessory buildings or structures on a corner lot shall have a minimum setback of 5 feet from the rear lot line.
- D. Setback from Principal Building: An accessory building or a swimming pool shall not be closer than 10 feet to the principal building located on the same lot.
- E. Satellite Antennas: Satellite antennas are permitted only in the rear open space. They are prohibited on the roof of any principal building or accessory building. They are limited to a maximum of 15 feet in height above grade and a minimum of 3 feet from the rear and side lot lines.
- F. Basketball Apparatus: A basketball apparatus may be placed within the required front open space and side open space of a single-family residential lot and only in conformance with the following conditions:
1. No more than 1 basketball backboard, either garage or pole-mounted, may be located in the required front or side open space.
 2. A single basketball backboard may be mounted directly on the garage.
 3. A single, pole-mounted backboard may be located only within the one-third of the required front open space or side open space nearest the dwelling and contiguous to the driveway.
- G. Maximum Building Height: The maximum eave height on all accessory structures shall not exceed 12 feet. The maximum building heights for accessory structures are as follows:
1. Gable, hip, gambrel, barrel or shed roofs:
 - a. R1A, R1: 15.5 feet to midpoint
 - b. R2: 15 feet to midpoint
 - c. R3: 14.5 feet to midpoint
 - d. The roof line on gambrel and barrel roofs may not project more than 2 feet past an imaginary plane drawn from the eave to the highest point on the roof. The highest point on an accessory structure with a shed roof must face the interior of the lot on which it is located.
 2. Flat roofs:
 - a. R1A, R1: 12 feet
 - b. R2: 12 feet
 - c. R3: 12 feet

3. Mansard roofs:

- a. R1A, R1: 15.5 feet to deck line
- b. R2: 15 feet to deck line
- c. R3 14.5 feet to deck line

H. Area: The maximum area of the first floor of any accessory structure or accessory structures in combination shall not exceed 10% of the lot area or 600 square feet in R1 and R1A, 550 square feet in R2, or 500 square feet in R3, whichever is less. Outdoor living area is prohibited above the first story on any accessory structure.

I. Proportionality Between Accessory Structures and Principal Structures: The height of an accessory structure must be lower than the height of the principal structure on the same lot. The total area of habitable space in an accessory structure must not exceed 75% of the total area of habitable space in the principal structure on the same lot.

J. Dormers: Dormers on accessory structures are limited to 50% or less of the width of the roof per elevation or a 10 foot interior dimension, whichever is greater. Dormers may not exceed the height of the roofline from which they are projecting. Dormers are not permitted on accessory structures with gambrel, barrel, flat or mansard roofs.

K. Windows: On elevations adjacent to abutting property lines, a maximum of 8 square feet of glazing area is permitted per elevation on the second level of an accessory structure if located less than 6 feet above the floor of the second level of the accessory structure. Unlimited glazing is permitted if located at least 6 feet above the floor of the second level of the accessory structure.

L. Exterior Staircases: Above grade exterior staircases are prohibited on accessory structures.

4.04 AS-03

This Accessory Structure Standards section applies to the following districts:

R4 R5 R6 R7 R8 01 02 P B1 B2 B2B B2C B3 B4 MX

The following accessory structure standard applies:

A. Structures Permitted: No accessory building shall be permitted except by site plan approval by the appropriate reviewing body in accordance with the regulations as set forth in Site Plan Review in Article 7.

4.05 AS-04

This Accessory Structure Standards section applies to the following district:

R8

The following accessory structure standard applies:

A. Structure Placement: No accessory buildings or structures other than a garage or carport shall be constructed or placed in the rear yard setback.

4.06 AS-05

This Accessory Structure Standards section applies to the following districts:

01 02 P B1 B2 B2B B2C B3 B4

The following accessory structure standards apply:

A. Front, Side, or Rear Open Space Limitations: No accessory buildings shall be erected in the front open space, side open space or rear open space.

B. Satellite Antennas: Satellite antennas are permitted in the rear open space or on the roof, provided they receive Design Review approval from the Design Review Board. Roof and ground-mounted satellite antennas shall not exceed the maximum height permitted for the principal building in the non-residential zoning district.

